

United States Department of the Interior
National Park Service

National Register of Historic Places Registration Form

This form is for use in nominating or requesting determinations for individual properties and districts. See instructions in National Register Bulletin, *How to Complete the National Register of Historic Places Registration Form*. If any item does not apply to the property being documented, enter "N/A" for "not applicable." For functions, architectural classification, materials, and areas of significance, enter only categories and subcategories from the instructions.

1. Name of Property

Historic name: Union Bros. Furniture Company

Other names/site number: Plymouth Wallpaper Building / 1120 South Hanover Street

Name of related multiple property listing:

(Enter "N/A" if property is not part of a multiple property listing)

2. Location

Street & number: 1120 South Hanover Street

City or town: Baltimore State: MD County: Baltimore Indep. City

Not For Publication: ☐ Vicinity: ☐

3. State/Federal Agency Certification

As the designated authority under the National Historic Preservation Act, as amended,

I hereby certify that this ___ nomination ___ request for determination of eligibility meets the documentation standards for registering properties in the National Register of Historic Places and meets the procedural and professional requirements set forth in 36 CFR Part 60.

In my opinion, the property ___ meets ___ does not meet the National Register Criteria. I recommend that this property be considered significant at the following level(s) of significance:

___national ___statewide ___local

Applicable National Register Criteria:

___A ___B ___C ___D

Signature of certifying official/Title:

Date

State or Federal agency/bureau or Tribal Government

In my opinion, the property ___ meets ___ does not meet the National Register criteria.

Signature of commenting official:

Date

Title :

State or Federal agency/bureau
or Tribal Government

Union Bros. Furniture Company
Name of Property

Baltimore City, MD
County and State

4. National Park Service Certification

I hereby certify that this property is:

- ☐ entered in the National Register
☐ determined eligible for the National Register
☐ determined not eligible for the National Register
☐ removed from the National Register
☐ other (explain:) _____

Signature of the Keeper

Date of Action

5. Classification

Ownership of Property

(Check as many boxes as apply.)

- Private: ☒
- Public – Local ☐
- Public – State ☐
- Public – Federal ☐

Category of Property

(Check only **one** box.)

- Building(s) ☒
- District ☐
- Site ☐
- Structure ☐
- Object ☐

Union Bros. Furniture Company
Name of Property

Baltimore City, MD
County and State

Number of Resources within Property

(Do not include previously listed resources in the count)

Contributing	Noncontributing	
<u>3</u>	<u>1</u>	buildings
<u> </u>	<u> </u>	sites
<u> </u>	<u> </u>	structures
<u> </u>	<u> </u>	objects
<u> </u>	<u> </u>	Total

Number of contributing resources previously listed in the National Register

6. Function or Use

Historic Functions

(Enter categories from instructions.)

INDUSTRY / Manufacturing Facility

COMMERCE/ Specialty Store

COMMERCE / Warehouse

Current Functions

(Enter categories from instructions.)

Work in Progress

COMMERCE / Restaurant

COMMERCE / Business

7. Description

Architectural Classification

(Enter categories from instructions.)

OTHER: Industrial/Warehouse Building

Union Bros. Furniture Company
Name of Property

Baltimore City, MD
County and State

Materials: (enter categories from instructions.)

Principal exterior materials of the property: _____

Foundation: Stone

Walls: Brick

Roof: Other – Built-up Roofing

Narrative Description

(Describe the historic and current physical appearance and condition of the property. Describe contributing and noncontributing resources if applicable. Begin with a **summary paragraph** that briefly describes the general characteristics of the property, such as its location, type, style, method of construction, setting, size, and significant features. Indicate whether the property has historic integrity.)

Summary Paragraph

The Union Bros. Furniture Building is a 2 and 3 story irregular-shaped brick factory building constructed in three distinct sections between 1923 and 1955. The site is located southwest of the intersection of Cross and South Hanover Streets, surrounding a corner site that has been a filling station since the mid-1930s in the neighborhood known as South Baltimore. The Union Bros. Building has gently sloped roofs, reading as flat, and reflects two distinct styles of architecture. The 37 West Cross Street and 1118 Clarkson Street structures reflect a simple, utilitarian design typical of factory structures erected in the first quarter of the twentieth century, consisting of simple brick walls with industrial steel sash windows. The 1120 South Hanover Street structure was constructed in 1955 and reflects many mid-century modern influences, including more elaborate brick detailing and a decorative streamlined aluminum entrance canopy. Many of the original windows appear to have been bricked in or replaced with modern insulated glass units, however the majority of the original industrial steel sash windows remain, many of which are in very good condition, protected behind the exterior brick infill. A small concrete block garage, not clearly related to the Union Bros. plant abuts the south elevation of the 1118 Clarkson Street structure. However, despite changes the Union Bros. Furniture Building retains its original architectural character and possesses sufficient integrity to convey the history associated with the building and its occupants.

Union Bros. Furniture Company
Name of Property

Baltimore City, MD
County and State

Narrative Description

The site is comprised of eleven parcels in an irregular form assembled in several stages, with the initial structure occupying a parcel at 37 West Cross Street, the initial addition constructed on a parcel at 1118 Clarkson Street, a second addition constructed in 1955 on parcels 1120 through 1124 South Hanover Street, a deteriorated one story garage occupying parcels at 1120 through 1126 Clarkson Street and an open lot occupying parcels identified as 112 through 118 Seldner Place. Long before the site was developed by Union Bros., the area had previously been developed, with the 37 West Cross Street address previously used as a two-story cooperage by John Eppler and the remaining parcels previously occupied by individual rowhouses. The current building fronting Cross Street, constructed in 1923, has a rectangular footprint with 50'-0" of frontage along Cross Street and 164'-0" of frontage along Clarkson Street with an area of approximately 8,125 gross square feet per floor. This three story structure is approximately 39'-0" tall to the cornice line and is connected by a narrow two story bridge to the rectangular, three story addition at 1118 Clarkson Street. This 38'-4" by 54'-4" addition, approximately 2,075 gross square feet per floor, was constructed in 1925 with a height of approximately 39'-0" from grade to cornice line, and as noted above has a 21'-4" by 39'-0" one story concrete block garage in poor condition abutting to the south. 1120 South Hanover Street, comprised of three parcels and constructed in 1955, is a two story building with 39'-7" of frontage on Hanover Street and 137'-4" of mid-block frontage, approximately 27'-3" in height and approximately 4,975 gross square feet per floor. For clarity, we have identified the original structure at 37 West Cross Street as Building 1, the 1925 addition across Clarkson Street as Building 2, and the 1955 addition on Hanover Street as Building 3.

Building 1 is two structural bays wide facing Cross Street by eight bays deep. An excellent example of Baltimore Mill Construction, unornamented brick bearing walls define the building perimeter, with a mixture of wood and steel framing supporting a wood floor structure. Modestly decorated false gable ends define the north and south elevations, the south elevation of which is partially obscured by the 1955 addition. The Cross Street elevation consists of a loading dock door occupying the easternmost bay of the first floor, with two punched window openings and a grade level entrance leading immediately to interior stairs in the western bay of the first floor. The original sign band, advertising Union Bros. Furniture and now painted over, can still be seen above the first floor. A series of six punched openings stack vertically on the second and third floors, with smaller windows at the east and west ends of the façade, and 4 larger, equally sized openings found in the center of the elevation. The door at the west end of the Cross Street Elevation was the original primary entrance to the building. The Second and Third levels of the Clarkson Street elevation are identical, consisting of eleven punched openings of varying sizes entry on each floor as well as the bridge connection to Building 2. The Ground Level elevation along Clarkson Street has had many of the original windows that aligned with windows above receiving brick infill, with the original windows protected behind the infill. There are also two loading dock doors and a pair of doors discharge onto Clarkson Street from an interior stair. There are two larger blank brick expanses on this elevation that reflect the location of stairways within the building. The east elevation of Building 1, paralleling Hanover Street, is much more regular with fifteen punched openings on each floor of approximately the same size evenly

Union Bros. Furniture Company

Name of Property

Baltimore City, MD

County and State

spaced along this elevation. The windows on the second and third floors have been replaced with modern aluminum horizontal sliding windows. In addition to the three levels above grade, there is a full basement with bricked in clerestory windows along the east and west elevations. There is evidence of ongoing water penetration in the basement level, most of which is dealt with by a series of perimeter trench drains leading to several sump pits where the water is collected then discharged to the exterior via sump pumps. Along the west side of the building, adjacent to Clarkson Street, there are two single run wooden stairs connecting the levels above grade, with the north stair also connecting to the Basement level. There is also a large freight elevator connecting all levels of the building located in the middle of the building on the west side of the floor. Originally constructed as a factory, the character defining elements - open floor plan, steel columns, wood joists, exposed brick walls and vertical circulation (stairs and elevator) held against the west elevation to create the maximum amount of flexible, free area – still remain fundamentally intact. Of particular note, many of the existing window openings that appear to be bricked in and missing the original windows actually have these original industrial steel sash windows intact, with the brick infill outside of the original windows sometimes staggered to allow for daylighting while providing some measure of protection and security.

Building 2 is two bays wide by three bays deep, and reflects the rapid adoption of concrete construction in the 1920s. Three levels above grade align with the previously constructed Building 1, however there is no basement in this structure. Constructed just two years after the original building, the unornamented brick exterior walls surround a concrete structure consisting of concrete columns supporting cast concrete floor beams that in turn support cast concrete floors. Curiously the building is slightly trapezoidal in shape, while the structural grid is orthogonal, leading to some unusual conditions where columns do not fall directly under beam intersections. The original steel sash industrial windows are mostly extant in Building 2, with each sash filling a single punched opening per structural bay. A single roll up door fronting Clarkson Street provide access to the ground floor, while the upper two levels are accessed via a bridge from Building 1. Single run cast-in-place concrete stairs connect all three levels of Building 2. The character defining elements of this building – exposed perimeter walls, exposed concrete structure and copious daylight through large industrial steel sash windows remain fundamentally unaltered. There is a dilapidated one story concrete block garage, likely dating to the 1940s, abutting the west bay of the first floor of Building 2. It is not clear if or how this garage was related to the Union Bros. operation, and given the structure's poor condition it is proposed that this garage be classified as a non-contributing structure.

Building 3 is one structural bay wide on Hanover Street by seven bays deep, running perpendicular to Hanover Street at mid-block. This much more stylish structure feature ornamental brickwork, intermixing stacked and running bond panels, sleek aluminum windows and a streamlined canopy over the recessed entrance on Hanover Street. The exterior walls consist of brick veneer with concrete block backup, in contrast to the solid wythe brick masonry walls found in Buildings 1 and 2. The primary structure consists of steel columns and primary beams, with wood floor joists supporting the second floor and a steel and gypsum system serving as the roof deck. Two sets of single run wooden stairs are located on the south side of the floor, connecting the two levels – one of these stairs includes a partially-intact modern-style metal handrail. There is no Basement in Building 3. A portion of the first floor of Building 3 was

Union Bros. Furniture Company
Name of Property

Baltimore City, MD
County and State

purpose built as a showroom to promote sales of Union Bros. furniture, but there are few traces of the showroom after the several decades of subsequent occupancy after Union Bros. closed, mainly limited to several display rooms on the south side of Building 3 near the Hanover Street entrance.

What is striking when viewing all three structures as an ensemble is that the rapid evolution of the design and construction of manufacturing facilities in the early-to-mid 20th century can be discerned. From 'traditional' mill construction techniques found in Building 1 (perimeter brick bearing walls with wood floors and joists bearing on steel columns) to the advent of reinforced cast in place concrete structure in Building 2, to the brick veneer with concrete block back-up perimeter walls, lighter-weight structure, and modern details found in Building 3, the changes in design and construction techniques over just three decades is really quite remarkable.

Union Bros. Furniture Company
Name of Property

Baltimore City, MD
County and State

8. Statement of Significance

Applicable National Register Criteria

(Mark "x" in one or more boxes for the criteria qualifying the property for National Register listing.)

- ☒ A. Property is associated with events that have made a significant contribution to the broad patterns of our history.
- ☒ B. Property is associated with the lives of persons significant in our past.
- ☒ C. Property embodies the distinctive characteristics of a type, period, or method of construction or represents the work of a master, or possesses high artistic values, or represents a significant and distinguishable entity whose components lack individual distinction.
- ☐ D. Property has yielded, or is likely to yield, information important in prehistory or history.

Criteria Considerations

(Mark "x" in all the boxes that apply.)

- ☐ A. Owned by a religious institution or used for religious purposes
- ☐ B. Removed from its original location
- ☐ C. A birthplace or grave
- ☐ D. A cemetery
- ☐ E. A reconstructed building, object, or structure
- ☐ F. A commemorative property
- ☐ G. Less than 50 years old or achieving significance within the past 50 years

Union Bros. Furniture Company
Name of Property

Baltimore City, MD
County and State

Areas of Significance

(Enter categories from instructions.)

ARCHITECTURE

COMMERCE

INDUSTRY

Period of Significance

1923-1972

Significant Dates

1923

1925

1955

Significant Person

(Complete only if Criterion B is marked above.)

Rubin Union

Philip Union

Benjamin Ruttenberg

Cultural Affiliation

N/A

Architect/Builder

Stanislaus Russell - Architect

Louis Ulman & Co. - Builder

Union Bros. Furniture Company
Name of Property

Baltimore City, MD
County and State

Statement of Significance Summary Paragraph (Provide a summary paragraph that includes level of significance, applicable criteria, justification for the period of significance, and any applicable criteria considerations.)

The Union Bros. Furniture Company Building, constructed between 1923 and 1955, represents a locally significant component of Baltimore's furniture industry. The Union Bros. Furniture Company, which operated between 1919 and 1972, incorporated evolving trends in manufacturing and employed new architectural styles to promote sales of their furniture pieces. The Union Bros. facility meets National Register Criterion A for its association with the growth and development of Baltimore's furniture industry and also for the broader social narrative of immigrant communities establishing themselves and then both prospering and assimilating over time. The Union Bros. Furniture Company Building also meets National Register Criterion B for its association with the owners of the company, brothers Philip and Rubin Union and their partner Benjamin Ruttenberg, all of whom took an active role in the firm and assumed prominence and leadership roles within the Baltimore furniture manufacturing community. The building also meets National Register Criterion C as fundamentally intact examples of three distinctive architectural styles and construction techniques representative of the evolution of Baltimore's industrial architecture. The buildings retain sufficient integrity to convey these historic associations despite the limited modifications and minor loss of integrity to the structures.

Narrative Statement of Significance (Provide at least **one** paragraph for each area of significance.)

The history of furniture manufacturing in Baltimore throughout the 19th and 20th centuries, with its evolution from craft to large-scale industrial operation provides the historic context for the Union Bros. Furniture Company and its association with Baltimore history. As noted in other histories, furniture manufacturing developed out of Baltimore's strong 18th and 19th century craft tradition in cabinetmaking, coupled with the growth of Baltimore as a center of manufacturing, taking advantage of Baltimore's port and rail networks to receive raw materials and the distribute finished products. While not as well studied as other industries, such as canning and clothing manufacturing, furniture manufacturing nevertheless constituted a significant sector of Baltimore's diverse manufacturing base. Furthermore, as documented in the history of the Bagby Furniture Company, furniture manufacturers became increasingly specialized in the goods they produced and the markets they addressed. As furniture became room-specific and function-specific, firms concentrated on particular types of furniture or furniture for distinct markets, like offices or hotels. In the case of Union Bros. Furniture, the firm focused on upholstered furniture for residential settings.

Founded in 1919 by brothers Rubin and Phillip Union and their partner Benjamin Ruttenberg, Union Bros. Furniture grew rapidly, paralleling Baltimore's growth as a center of furniture manufacturing on the east coast. All three partners were Jewish immigrants from Russia who had come to Baltimore as children and then each apprenticed in the furniture business for several

Union Bros. Furniture Company

Name of Property

Baltimore City, MD

County and State

years, Philip having apprenticed as an upholsterer with the prominent firm of Levenson and Zenitz. The partners exhibited the drive and entrepreneurship to start their own firm at relatively young ages – Rubin, the older Union Brother was only 22 years of age when the firm was founded, while his younger brother Philip was just 20 and Benjamin Ruttenberg was 24 or 25. The 1920 census indicated that Philip, Rubin and their younger sister Anne were all single and lived with their parents, Nathan and Brindle. Another sister, Ida, was born sometime after 1920. The father, Nathan's, occupation was listed as a tailor of women's clothing, while Philip and Rubin were both listed as upholsterers in the furniture industry. By 1930, Nathan was listed as a Foreman for a Printer, while Rubin (still living at home) was listed as the Proprietor of a Factory, Anne and Philip had moved away, but a 12 year old grandson, Morris was listed as living with Nathan and his wife. By 1930, Philip had married, and he and his wife Clara had two children, Ruth, born ca. 1924 and Abraham, born a year later. Benjamin Ruttenberg was also married by 1930, with a wife, Clara (also a Jewish immigrant from Russia) and three children, a son, Louis, born in 1924 and daughters Elsie and Pauline, born in 1927 and 1930 respectively.

Initially established in rented space at 2119 East Fayette Street, within four years the partners were already looking to expand their enterprise and relocate to a larger, purpose-built factory at 37 West Cross Street. They commissioned noted Baltimore architect Stanislaus Russell (1876-1958) to prepare a design and Louis Ulman & Co. was selected as the contractor to construct the new facility for approximately \$50,000.00, consisting of three stories above grade, plus basement, totaling 32,500 square feet. Within a matter of two years the three story, 6,225 square foot annex, connected by a two story bridge to the original 37 West Cross Street facility was constructed across Clarkson Street. The firm continued to grow rapidly, and the partners decided to expand in 1928 by acquiring a city block bounded by Beason, Decatur, Clement and Lowman Streets in the Locust Point neighborhood of Baltimore - a little over a mile away from the primary facility that served as the main offices of the company - in order to construct a larger ancillary facility. The first phase of this satellite facility, over 67,000 square feet in area, was completed by 1929, just six years after constructing the initial factory at 37 West Cross Street, and by 1942 this ancillary facility had grown to 120,000 square feet of space, with the final 52 foot by 104 foot addition designed by architect Benjamin Frank in 1939. The Locust Point plant apparently manufactured the wood frames for the furniture, with the upholstering and finishing completed at the South Baltimore Plant that is the subject of this nomination.

Each partner was responsible for a specific area of the business, with Rubin Union responsible for running the administrative and financial aspect of the business, Philip Union serving as the chief designer of the furniture pieces, and Benjamin Ruttenberg heading up sales. Rubin achieved some measure of prominence within the broader furniture-making community of Baltimore, serving as one of three representatives from the fourteen Upholstered Furniture Manufacturers involved in negotiations with the Upholsterers Union in 1933 during a contentious strike pertaining to a minimum wage of 40 cents per hour and a maximum work week of 44 hours. The workers picketed both the manufacturers as well as the Department Stores that sold furniture produced by these manufacturers. Benjamin Ruttenberg and his wife became prominent members of Baltimore society, appearing with some frequency in the society pages of the Baltimore Sun, and the engagement of their daughter, Elsie, the lead item in the

Union Bros. Furniture Company

Name of Property

Baltimore City, MD

County and State

May 12, 1957 society column. Benjamin would pass away just eight years later in October of 1965. Philip passed away in May of 1974.

From its inception the firm continued grew quickly, with sales up and down the east coast, as far away as New York City and beyond. In order to keep current with evolving postwar trends, Union Bros. expanded their headquarters facility by connecting their original building at 37 West Cross Street with a new two story, 10,000 square foot addition at 1120 South Hanover Street in 1955, and made this new structure their principal business address. However, in less than two decades the business ceased production, reflecting national trends away from locally produced furniture in the urban northeast and the advancing age of the firm's partners (and in Ruttenberg's case death), with the firm sold in 1969 and the equipment from both the South Baltimore and Locust Point factories auctioned off on June 8, 1972. After the closing of the Union Bros. Furniture Company, the South Baltimore facility, like so many other former factories in Baltimore, assumed a new life as a mixed-use warehouse, distribution and modest retail facility for a variety of tenants.

After the closure of Union Bros. Furniture Company (and after the period of significance), the primary tenants of Building 1 (37 West Cross Street) consist of L&M Company from the mid-1970s to the late 1980s and Jupiter Enterprises limited from the late 1980s to the late 1990s. There is no evidence of commercial activity in Building 1 after 1997. From the mid-1970s to early 1980s the primary tenant of Building 3 (1120 South Hanover Street) was the Maryland Dry Goods Corporation and from the late 1980s to late 1990s the primary tenant was the Plymouth Wallpaper Surplus Store, signage for which is still visible to this day. For a brief period in the mid-1980s a photographer rented space in the Hanover Street building – a dark room still exists on the second floor of the building. Since the late 1990s the site does not appear to have been used for any commercial purposes, with the facility utilized for storage by the previous owners of the building.

Union Bros. Furniture Company
Name of Property

Baltimore City, MD
County and State

9. Major Bibliographical References

Bibliography (Cite the books, articles, and other sources used in preparing this form.)

“Auction Sales“ *Baltimore Sun*, June 8, 1972.

“Auction Sales“ *Baltimore Sun*, February 28, 1988.

“Bagby Furniture Company Building”, *National Register of Historic Places Registration Form*. Form prepared by Betty Bird, Betty Bird & Associates.

Baltimore City Criss –Cross Directory, Stewart.

Baltimore Address Telephone Directory, Chesapeake and Potomac Telephone Company

Classified Ads, *Baltimore Sun*.

“Deaths“ *Baltimore Sun*, October 16, 1965.

Department of Commerce, Bureau of the Census. Census rolls from 1920, 1930 and 1940

“Furniture Strike Laid To Demands“ *Baltimore Sun*, August 18, 1933.

“Levenson & Zenitz”, *Maryland Historic Inventory*, B-1063. Form prepared by Roger White, The Baltimore Industrial Museum

“Maryland Engagements“ *Baltimore Sun*, May 12, 1957.

“Personals Of Week“ *Baltimore Sun*, September 14, 1947.

“Philip Union, designer of furniture“ *Baltimore Sun*, May 30, 1974.

Polk’s Baltimore City Directories

Query Files, Maryland Room, Enoch Pratt Free Library

“Real Estate Deals and Building News: Bids Asked For Erection Of Unit For Plant Of Union Brothers“ *Baltimore Sun*, December 28, 1939.

“Real Estate Deals and Building News: New Factory for Union Bros. Will Be Erected In Block In Locust Point Section“ *Baltimore Sun*, May 18, 1928.

“Real Estate Deals and Building News: Plans for Furniture Manufacturing Plant on Cross Street Completed“ *Baltimore Sun*, March 15, 1923.

Union Bros. Furniture Company
Name of Property

Baltimore City, MD
County and State

“Real Estate Deals and Building News: Union Brothers Will Erect Daylight Factory Building” *Baltimore Sun*, February 9, 1923.

Sanborn Maps of Baltimore, 1914 and 1951

“Seven Creditors Named: Marylanders Make Claims In Bankruptcy Petition” *Baltimore Sun*, January 8, 1930.

“Temporary Injunction Is Issued Against Union: Upholsterers’ Group Enjoined from Picketing Several Plants In City” *Baltimore Sun*, September 20, 1927.

Vertical Files. (Maryland Room, EPFL)

“Wants: A Business Bureau for Decorators, Designers, Craftsmen and Skilled Artisans”, *Good Furniture Magazine*, March 1921, p. 28

Zembala, Dennis M., ed and Benjamin Latrobe, Jr. Chapter of the Society for Industrial Archeology, *Baltimore: Industrial Gateway on the Chesapeake Bay*. Baltimore: Baltimore Museum of Industry, 1995.

Previous documentation on file (NPS):

- ☐ preliminary determination of individual listing (36 CFR 67) has been requested
- ☐ previously listed in the National Register
- ☐ previously determined eligible by the National Register
- ☐ designated a National Historic Landmark
- ☐ recorded by Historic American Buildings Survey # _____
- ☐ recorded by Historic American Engineering Record # _____
- ☐ recorded by Historic American Landscape Survey # _____

Primary location of additional data:

- ☐ State Historic Preservation Office
 - ☐ Other State agency
 - ☐ Federal agency
 - ☐ Local government
 - ☐ University
 - ☐ Other
- Name of repository: _____

Historic Resources Survey Number (if assigned): _____

Union Bros. Furniture Company
Name of Property

Baltimore City, MD
County and State

10. Geographical Data

Acreage of Property 0.442 acres

Use either the UTM system or latitude/longitude coordinates

Latitude/Longitude Coordinates (decimal degrees)

Datum if other than WGS84: _____

(enter coordinates to 6 decimal places)

- | | | |
|------------------------|-----------------------|---------------------------|
| 1. Latitude: 39.276231 | Longitude: -76.615561 | 1120 South Hanover Street |
| 2. Latitude: 39.276566 | Longitude: -76.616024 | 37 West Cross Street |
| 3. Latitude: 39.276171 | Longitude: -76.616226 | 1118 Clarkson Street |
| 4. Latitude: | Longitude: | |

Or

UTM References

Datum (indicated on USGS map):

☐ NAD 1927 or ☐ NAD 1983

- | | | |
|----------|-----------|-----------|
| 1. Zone: | Easting: | Northing: |
| 2. Zone: | Easting: | Northing: |
| 3. Zone: | Easting: | Northing: |
| 4. Zone: | Easting : | Northing: |

Union Bros. Furniture Company
Name of Property

Baltimore City, MD
County and State

Verbal Boundary Description (Describe the boundaries of the property.)

Ward 23, Section 5, Block 948, Lots 4, 52/54, 65 through 69 and 74 through 77

Note: Lot 4 corresponds with Building 1 (37 West Cross Street)
Lot 65 corresponds with Building 2 (1118 Clarkson Street)
Lot 52/54 corresponds with Building 3 (1120 South Hanover Street)
Lots 66, 67, 68 and 69 correspond with the concrete block garage
Lots 74, 75, 76 and 77 are open lots with no structures

Boundary Justification (Explain why the boundaries were selected.)

The verbal boundary description corresponds with the legal description of the Baltimore City block and lots on which the Union Bros. Furniture Buildings are located.

11. Form Prepared By

name/title: Tom Liebel / Principal
organization: Marks, Thomas Architects
street & number: 1414 Key Highway, 2nd Floor
city or town: Baltimore state: MD zip code: 21230
e-mail: TomL@marks-thomas.com
telephone: 410-539-4300
date: June 28, 2016

Additional Documentation

Submit the following items with the completed form:

- **Maps:** A USGS map or equivalent (7.5 or 15 minute series) indicating the property's location.
- **Sketch map** for historic districts and properties having large acreage or numerous resources. Key all photographs to this map.
- **Additional items:** (Check with the SHPO, TPO, or FPO for any additional items.)

Union Bros. Furniture Company
Name of Property

Baltimore City, MD
County and State

Photographs

Submit clear and descriptive photographs. The size of each image must be 1600x1200 pixels (minimum), 3000x2000 preferred, at 300 ppi (pixels per inch) or larger. Key all photographs to the sketch map. Each photograph must be numbered and that number must correspond to the photograph number on the photo log. For simplicity, the name of the photographer, photo date, etc. may be listed once on the photograph log and doesn't need to be labeled on every photograph.

Photo Log

Name of Property: Union Bros. Furniture Company

City or Vicinity: Baltimore

County: Independent City

State: Maryland

Photographer: Chris Weston

Date Photographed: April and May 2016

Description of Photograph(s) and number, include description of view indicating direction of camera:

1 of ____.

Union Bros. Furniture Company
Name of Property

Baltimore City, MD
County and State

Paperwork Reduction Act Statement: This information is being collected for applications to the National Register of Historic Places to nominate properties for listing or determine eligibility for listing, to list properties, and to amend existing listings. Response to this request is required to obtain a benefit in accordance with the National Historic Preservation Act, as amended (16 U.S.C.460 et seq.).

Estimated Burden Statement: Public reporting burden for this form is estimated to average 100 hours per response including time for reviewing instructions, gathering and maintaining data, and completing and reviewing the form. Direct comments regarding this burden estimate or any aspect of this form to the Office of Planning and Performance Management, U.S. Dept. of the Interior, 1849 C. Street, NW, Washington, DC.



U.S. DEPARTMENT OF THE INTERIOR
U.S. GEOLOGICAL SURVEY

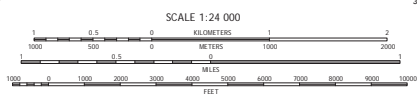
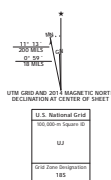


BALTIMORE EAST QUADRANGLE
MARYLAND
7.5-MINUTE SERIES



Produced by the United States Geological Survey
North American Datum of 1983 (NAD83)
World Geodetic System of 1984 (WGS84) Projection and
1000 meter grid. Universal Transverse Mercator, Zone 18S
10 000 feet scale. Maryland Coordinate System of 1983
This map is not a legal document. Boundaries may be
generalized for this map scale. Private lands within government
reservations may not be shown. Obtain permission before
entering private lands.

Imagery.....NAIP, July 2011
Roads.....MDE, 2013
Names.....GNIS, 2013
Hydrography.....National Hydrography Dataset, 2011
Contours.....National Elevation Dataset, 1999
Boundaries.....Multiple sources; see metadata file 1127_2013



CONTOUR INTERVAL 20 FEET
NORTH AMERICAN DATUM OF 1983
This map was produced to conform with the
National Geospatial Program US Topo Product Standard, 2011.
A metadata file associated with this product is draft version 5.6.16



ROAD CLASSIFICATION			
Expressway	Local Connector	Local Road	4WD
Secondary Hwy	Local Road	4WD	US Route
Ramp	Interstate Route	State Route	

BALTIMORE EAST, MD
2014



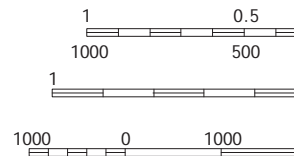
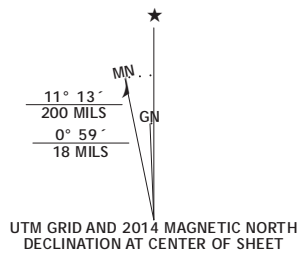


Produced by the United States Geological Survey

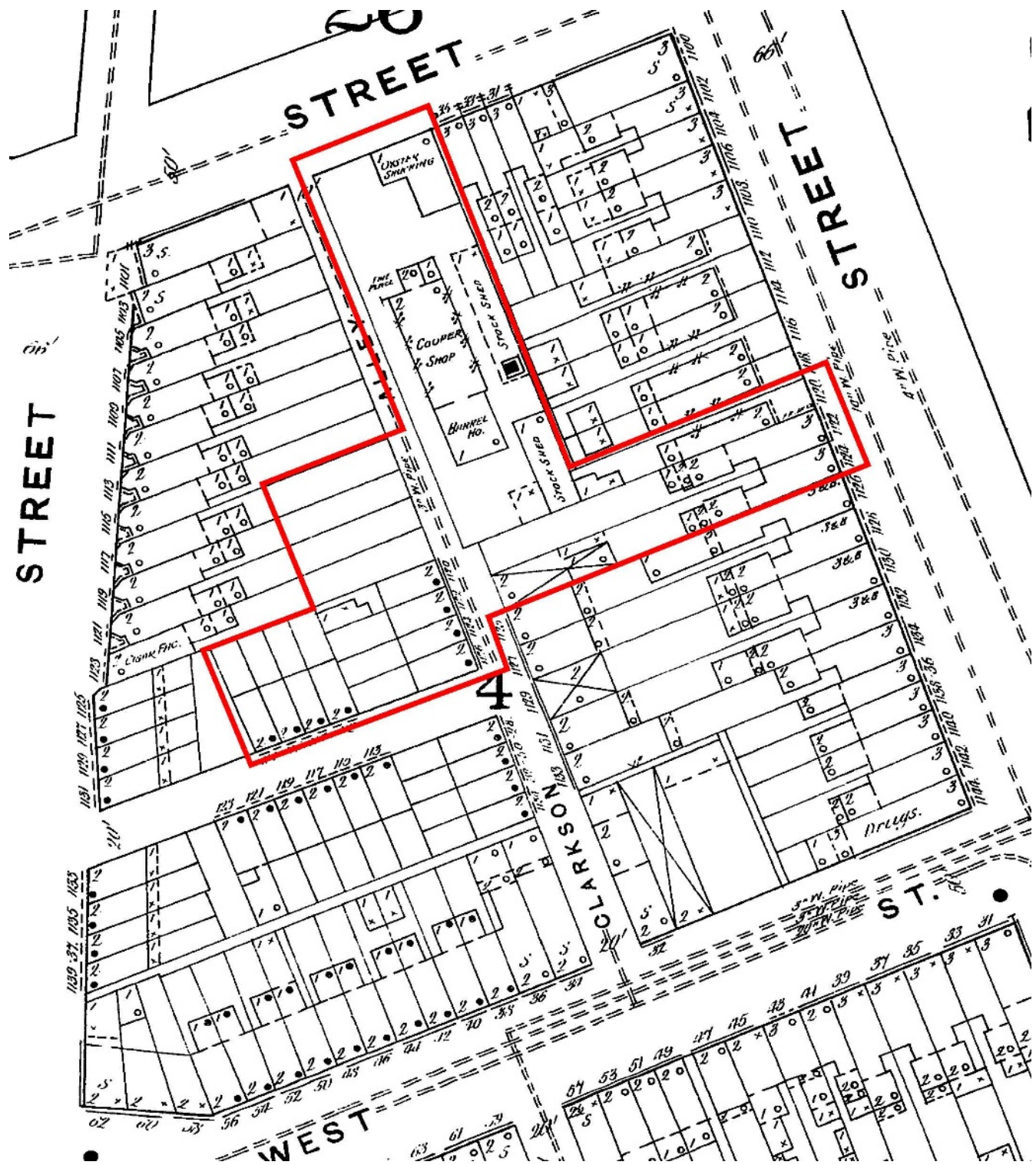
North American Datum of 1983 (NAD83)
World Geodetic System of 1984 (WGS84). Projection and
1 000-meter grid: Universal Transverse Mercator, Zone 18S
10 000-foot ticks: Maryland Coordinate System of 1983

This map is not a legal document. Boundaries may be
generalized for this map scale. Private lands within government
reservations may not be shown. Obtain permission before
entering private lands.

Imagery.....NAIP, July 2011
Roads.....HERE, ©2013
Names.....GNIS, 2013
Hydrography.....National Hydrography Dataset, 2011
Contours.....National Elevation Dataset, 1999
Boundaries.....Multiple sources; see metadata file 1972 - 2013



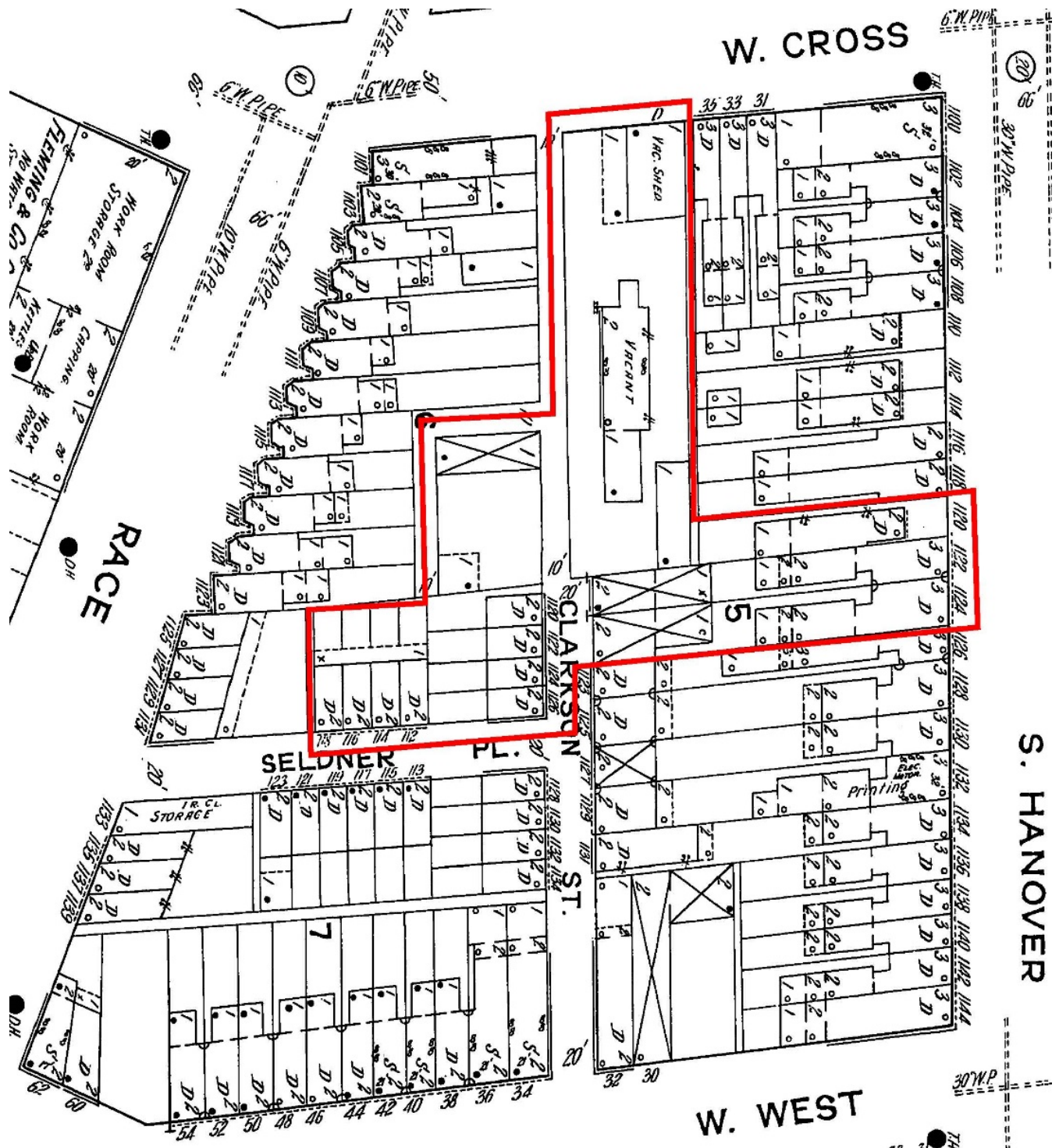
U.S. National Grid	
100,000-m Square ID	
UJ	
Grid Zone Designation	
18S	



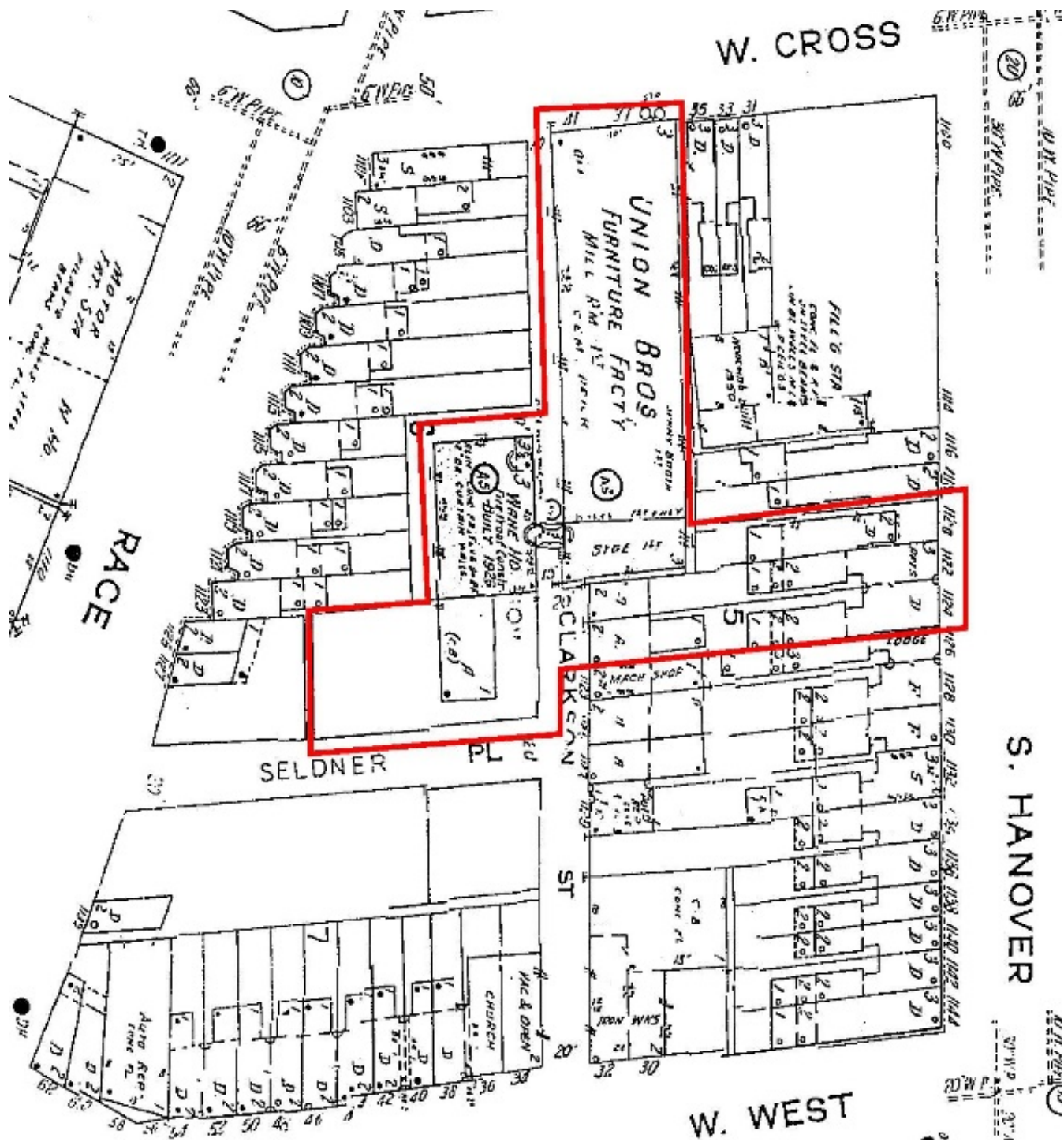
Site – Pre-Development
 Sanborn Fire Insurance Map – 1890
 Volume 1
 Sheet 28b



"Cross Street West of Hanover Street" - 1911
Courtesy of Enoch Pratt Free Library, Maryland Room



Site – Pre-Development
 Sanborn Fire Insurance Map – 1914
 Volume 1
 Sheet 47



Site – Union Bros. Furniture Company
 Sanborn Fire Insurance Map – 1953
 Volume 1A
 Sheet 75A



Union Bros. Furniture Company – Cross Street Elevation

ca. 1972

Courtesy of Jewish Museum of Maryland

Unaccessioned Collection



Union Bros. Furniture Company – Hanover Street Elevation

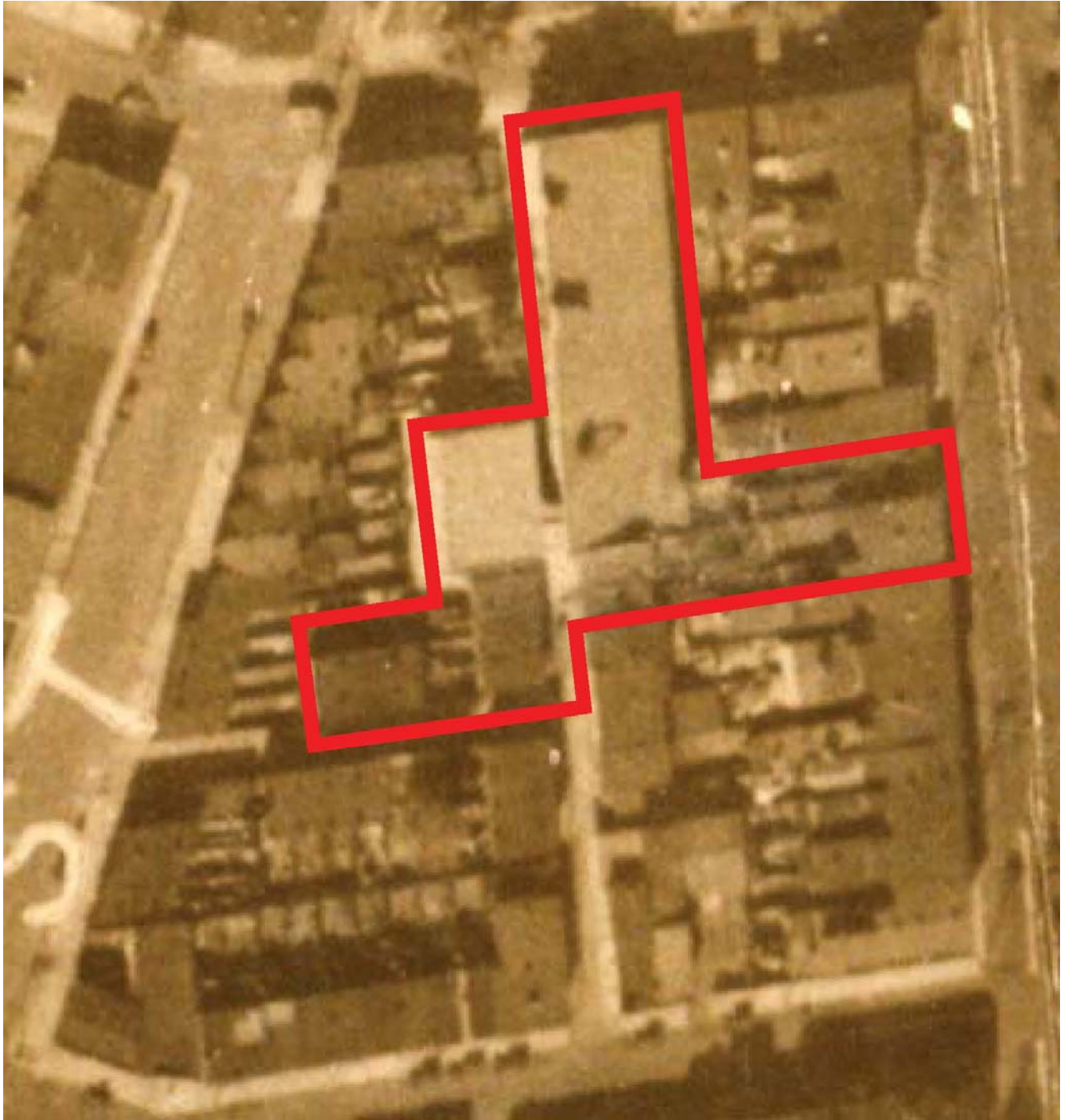
ca. 1972

Courtesy of Jewish Museum of Maryland

Unaccessioned Collection



Site Aerial Photograph - 1927
Chesapeake Aircraft Company
Courtesy of Johns Hopkins University Libraries



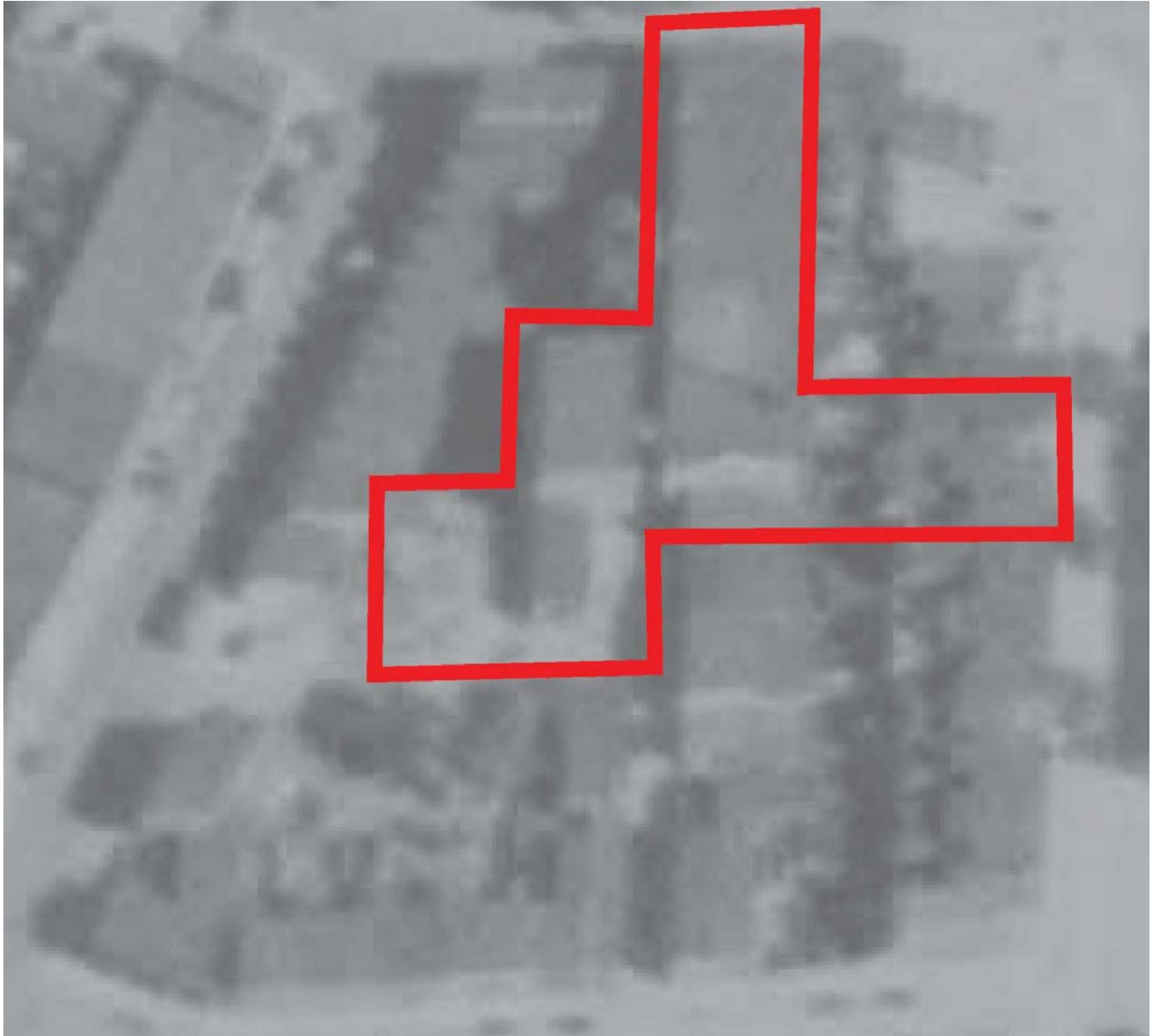
Site Aerial Photograph - 1927
Chesapeake Aircraft Company
Courtesy of Johns Hopkins University Libraries



Site Aerial Photograph - 1938

U.S. Agricultural Stabilization and Conservation Service (ASCS)

Courtesy of Johns Hopkins University Libraries



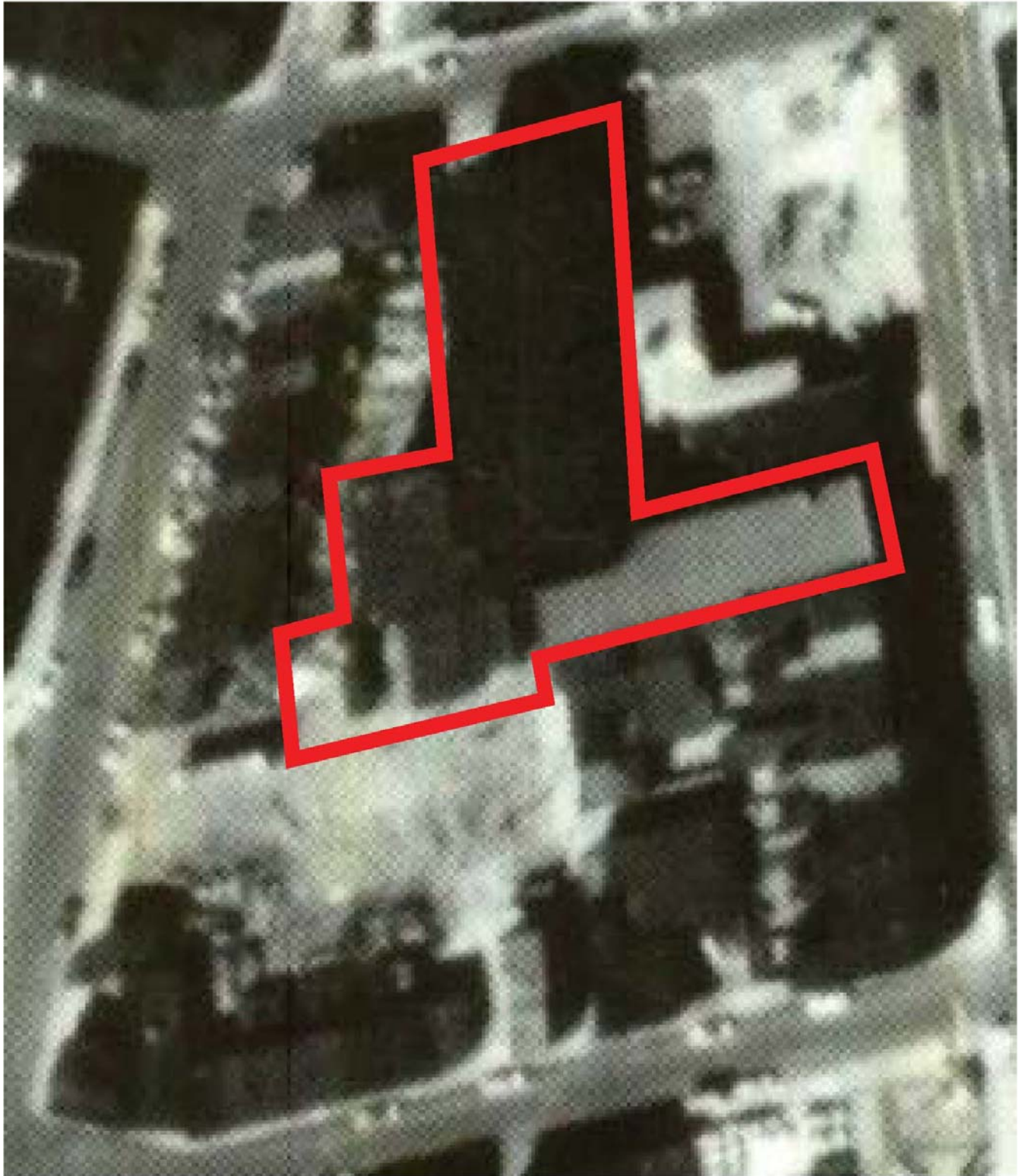
Site Aerial Photograph - 1938

U.S. Agricultural Stabilization and Conservation Service (ASCS)

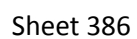
Courtesy of Johns Hopkins University Libraries



Site Aerial Photograph - 1972
Baltimore City Department of Planning
Courtesy of Johns Hopkins University Libraries



Site Aerial Photograph - 1972
Baltimore City Department of Planning
Courtesy of Johns Hopkins University Libraries





"First Unit of New Plant – Lowman and Beason Streets" - 1929

Consolidated Gas Electric Light & Power Company Collection

Courtesy of Enoch Pratt Free Library, Maryland Room



"Manufacturers of Upholstered Furniture at Lowman and Beason Streets. Shaping and Finishing Parts" - 1929
Consolidated Gas Electric Light & Power Company Collection
Courtesy of Enoch Pratt Free Library, Maryland Room



Union Bros. Furniture Company – Locust Point Plant

ca. 1972

Courtesy of Jewish Museum of Maryland

Unaccessioned Collection